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## Appendix B

View Impact Analysis



## 08 Appendix B View Impact Analysis Report

### Introduction

This View Impact Analysis Report is submitted as supporting documentation for a Planning Justification Report prepared by BBC Consulting Planners and should be read in conjunction with this and its appendices. The Planning Proposal seeks an amendment to the Sydney Local Environment Plan 2012 (SLEP 2012) to facilitate the redevelopment of development block 1 which consists of the land that includes 178-186 George Street (to become known as 182 George Street), 174-176A George Street (known as Jacksons on George), and 33-35 Pitt Lane), and pending a land swap, it will also include the 'triangular' parcel of land (Mirvac triangle) currently part of 188-194A George Street (to become known as 200 George Street). This report has been prepared by Hassell on behalf of Lend Lease.

This report seeks to examine and assess the visual impact of the proposed development as described by the proposed built form maximum envelope.

### The Precinct

The APDG block is made up of the block that is bounded by Alfred, Pitt, Dalley and George Streets. Within this block the following sites are the subjects of the View Impact Analysis Study:

- \_182 George St (St George Bank)
- \_176 George St (Jacksons on George)
- \_33-35 Pitt St
- \_Mirvac triangle/ land swap
- \_Crane Lane land swap

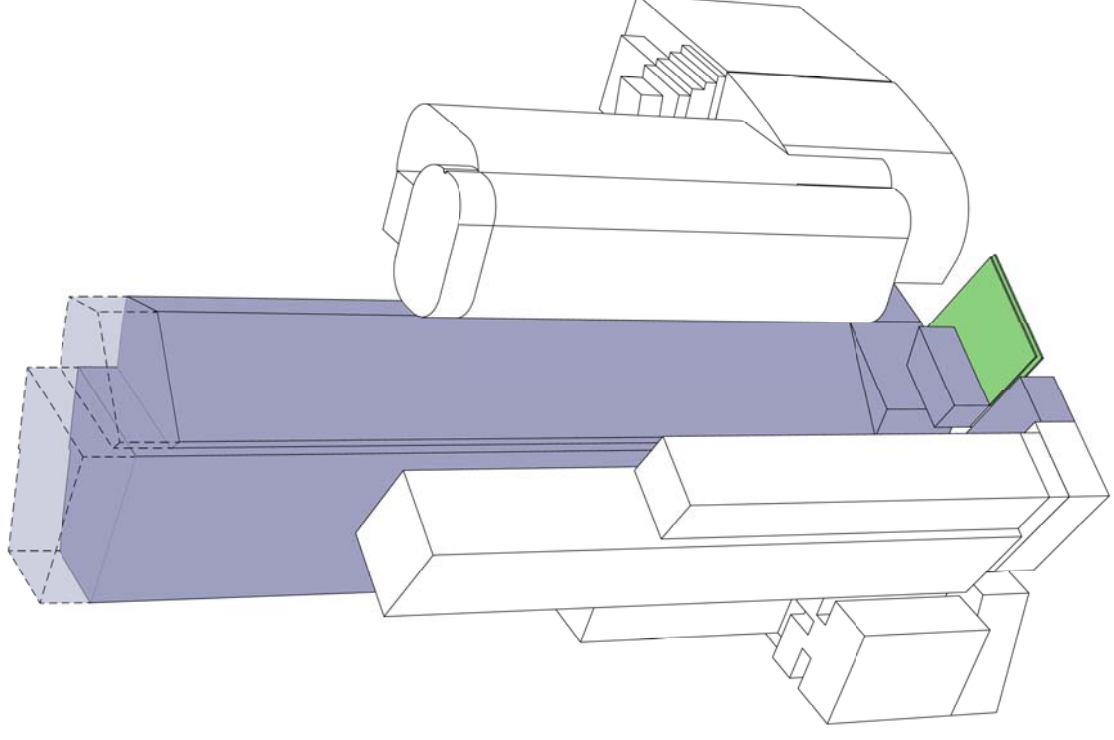
### Methodology

The view and analysis studies contained within this report have been produced by HASSELL using 3D Studio Max, and have been based on a 3D city model of Sydney licensed for use by HASSELL.

The view analysis studies contained within this report are accurate to the implied limits of the supplied base information. HASSELL does not accept responsibility for the accuracy of this base information.

The views contained in this report are separated into three distinct categories:

- Street level views:** Photographs were taken at eye height (approximately 1700mm above ground level) from prominent locations in a 360° arc around the site. The photograph was matched with a 3D Max model view using the City of Sydney model to obtain an 'existing 3D render' image. The Lend Lease proposed envelope and approved future surrounding developments (1 Alfred Street, 19 Pitt Street and 200 George Street) were placed in the City of Sydney model to create a 'proposed' render using the same camera specifications.  
**High level views:** Ten 'high level' existing tower developments were selected to assess the view impact of the proposed development. A 24mm focal length camera was used and placed at roof level of the selected tower developments to obtain a 3D studio Max 'existing render' image. The Lend Lease proposed envelope and approved future surrounding developments (1 Alfred Street, 19 Pitt Street and 200 George Street) were placed in the City of Sydney model to create a 'proposed' render image using the same camera specifications.  
**Plaza views:** Two views of the new plaza taken at various heights were included to provide a visual assessment of the new public space on George Street. A 35mm focal length camera was used to obtain a 3D studio Max 'existing render' image. The Lend Lease proposed envelope and approved future surrounding developments (1 Alfred Street, 19 Pitt Street and 200 George Street) were placed in the City of Sydney model to create a 'proposed' render image using the same camera specifications



## 08 Appendix B

### View Impact Analysis Report

#### Key Views - Location Map

- 1 Observatory Hill
- 2 Corner of Argyle and Harrington Street
- 3 Overseas passenger terminal
- 4 Circular Quay / First Fleet Park
- 5 Opera House steps
- 6 Circular Quay / Bennelong Apartments
- 7 Mrs Macquarie's Chair
- 8 Farm Cove
- 9 Corner of Pitt and Bridge Street
- 10 Corner of George and Bridge Street
- 11 George Street / Grosvenor Tower
- 12 Corner of Essex and Harrington Street
- 13 View from Circular Quay ferry
- 14 225 George St (Grosvenor Place)
- 15 255 George St (NAB House)
- 16 129 - 131 Harrington St
- 17 259 George St (Suncorp Place)
- 18 199 George St (Four Seasons Hotel)
- 19 264 George St (Australia Square)
- 20 273 George St (Metcentre Sydney)
- 21 30 Pitt St (Marriott Hotel)
- 22 APDG south east Tower
- 23 200 George Street
- 24 Grosvenor Tower - Street level - to Plaza
- 25 Grosvenor Place to Plaza



- Street level view
- High level (tower) view
- Plaza view

**08 Appendix B**  
View Impact Analysis Report\_  
View 1

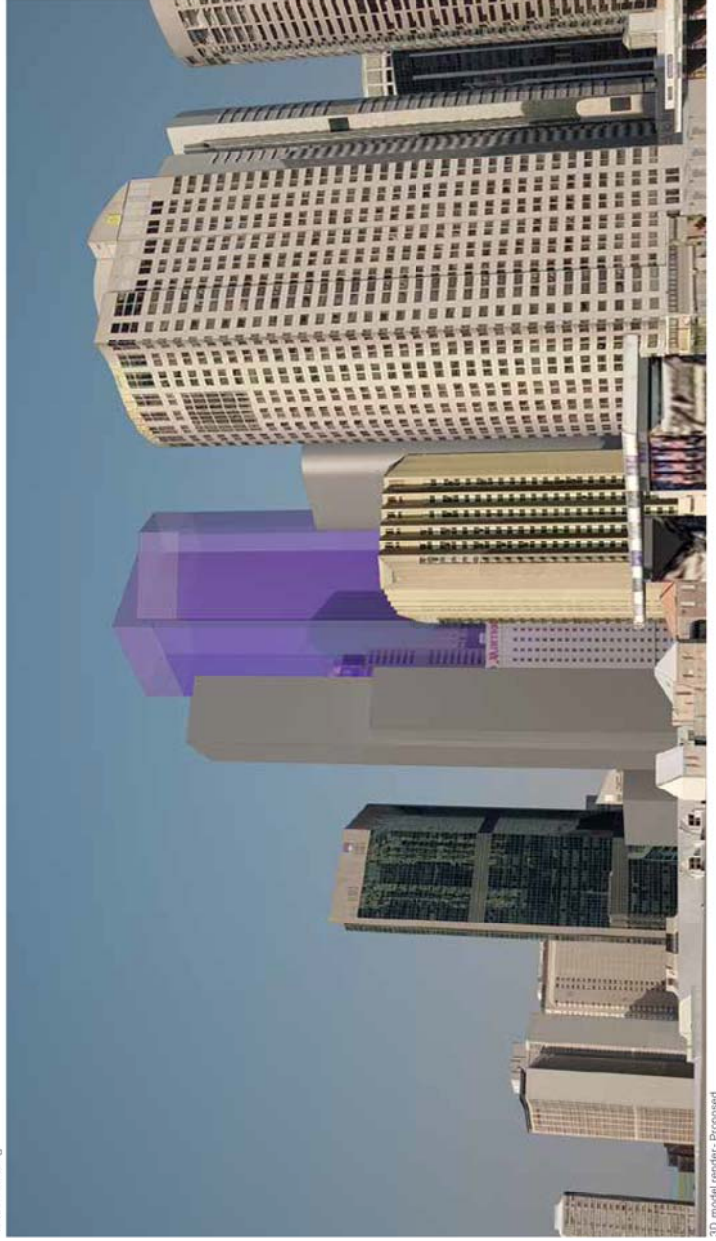
**Observatory Hill**



Existing photograph  
Canon EOS 550D  
38.4mm focal length  
1800mm camera height



Render - Existing



3D model render - Proposed

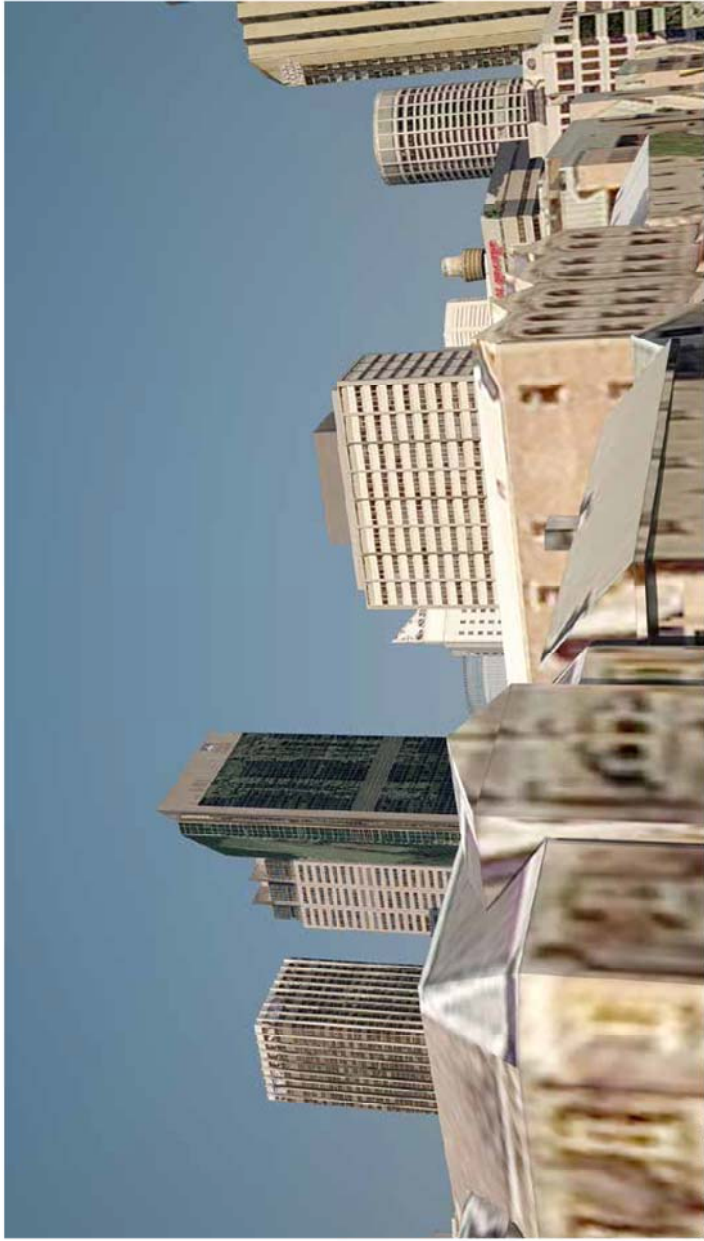
- Lend Lease proposed envelope
- Lend Lease proposed roof feature zone
- Lend Lease proposed roof feature zone
- Approved surrounding developments

**08 Appendix B**  
View Impact Analysis Report\_  
View 2

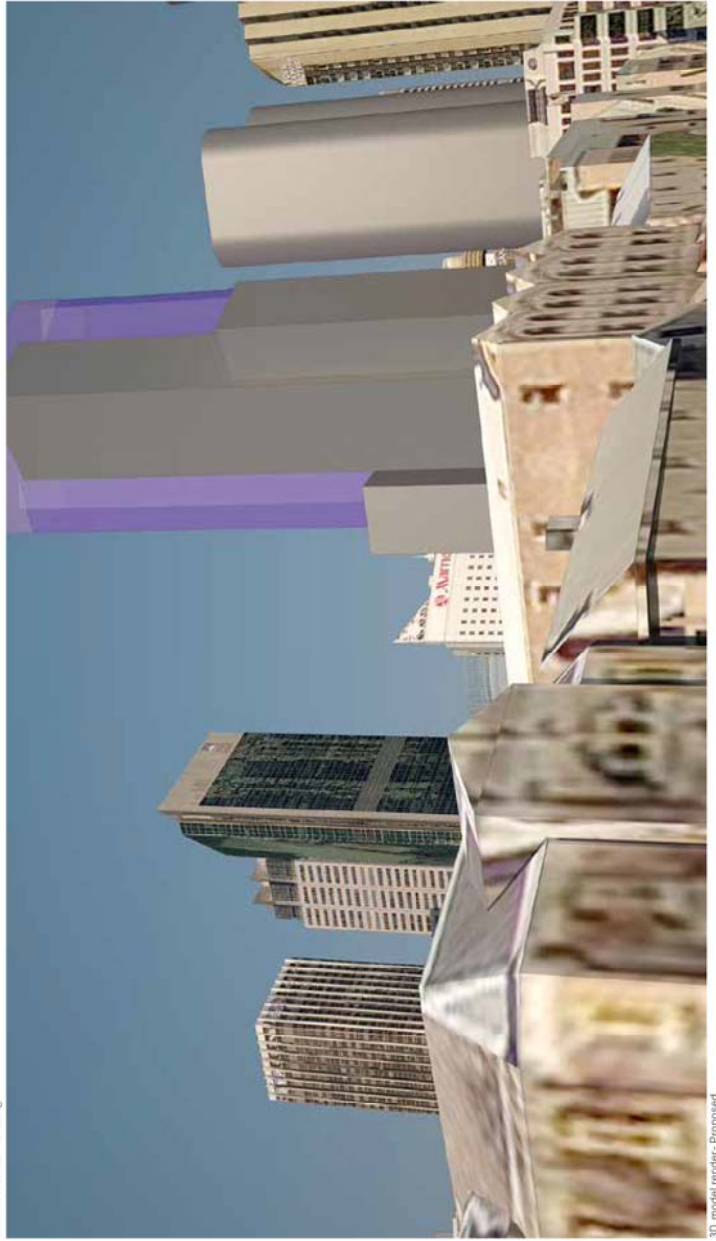
**Corner of Argyle St and Harrington St**



Existing photograph  
Canon EOS 550D  
40mm focal length  
1800mm camera height



3D model render- Existing



3D model render- Proposed  
Lend Lease proposed envelope  
Lend Lease proposed roof feature zone  
Approved surrounding developments

**08 Appendix B**  
View Impact Analysis Report\_  
View 3

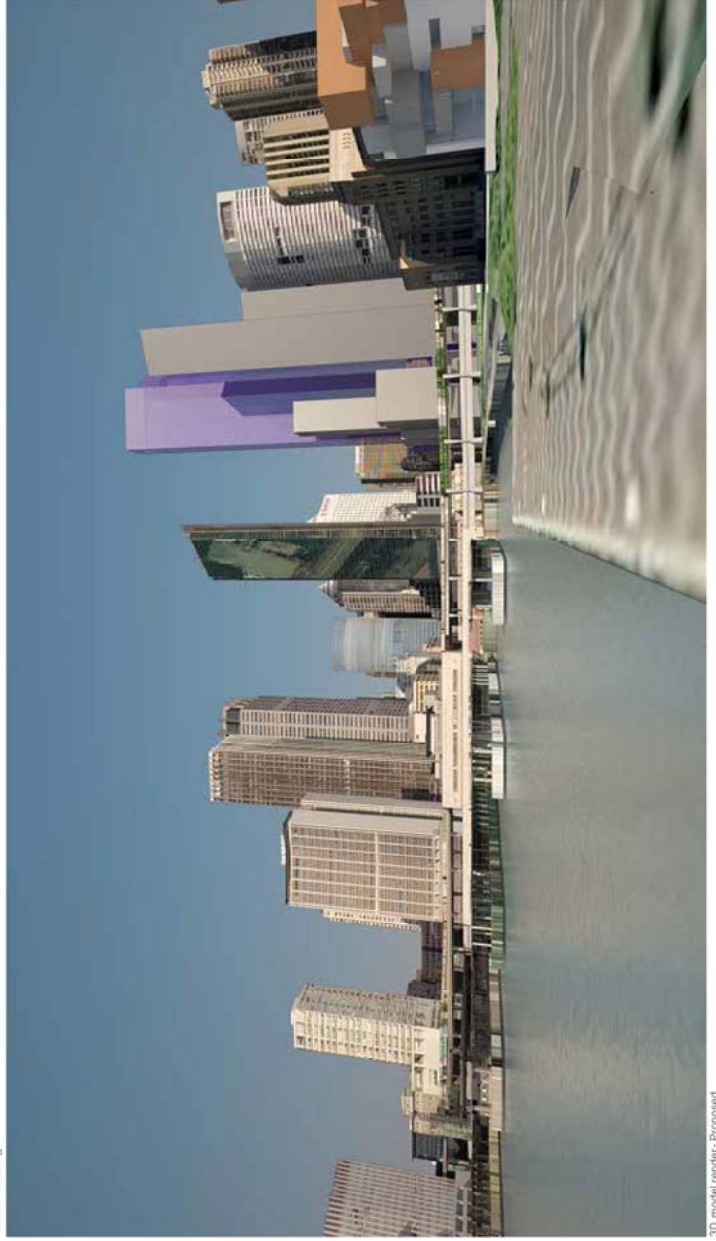
**Overseas Passenger Terminal**



Existing photograph  
Canon EOS 550D  
14.4mm focal length  
1800mm camera height



Render - Existing



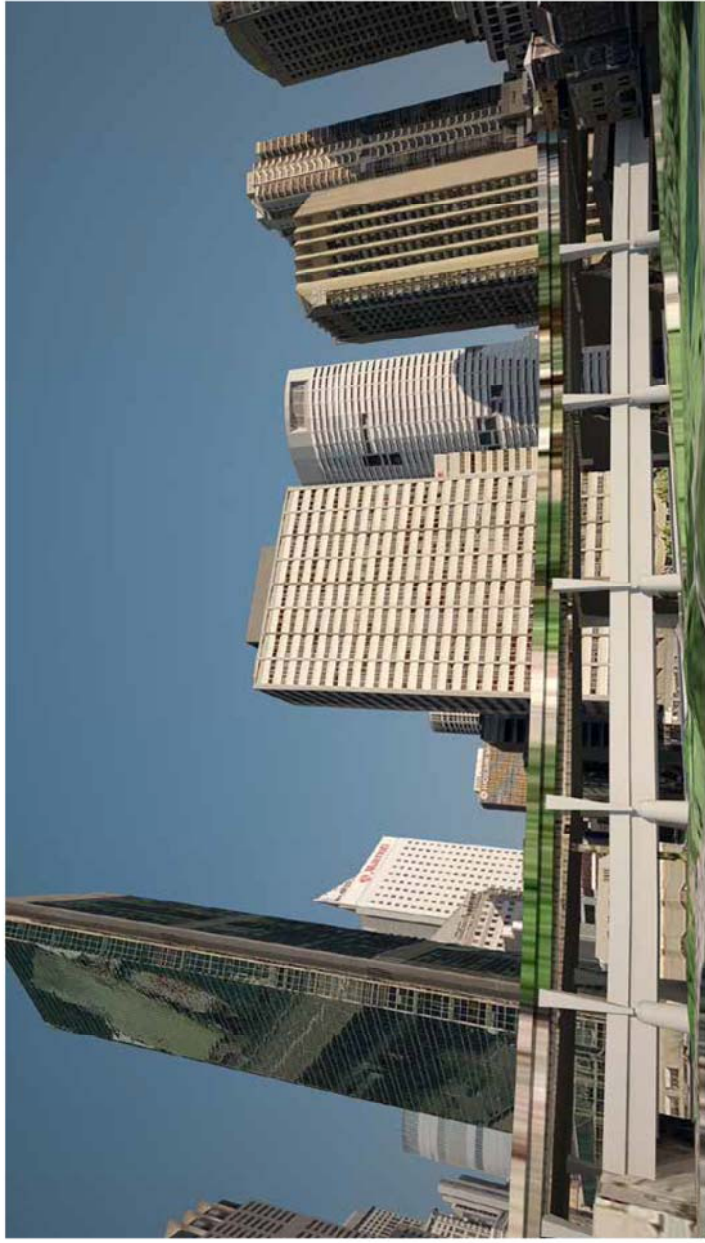
3D model render - Proposed  
Lend Lease proposed envelope  
Lend Lease proposed roof feature zone  
Approved surrounding developments

**08 Appendix B**  
View Impact Analysis Report\_  
View 4

**Circular Quay adjacent to First Fleet Park**



Existing photograph  
Canon EOS 550D  
20.7mm focal length  
1800mm camera height



3D model render- Existing



3D model render- Proposed

Legend  
 Proposed envelope  
 Lend Lease proposed roof feature zone  
 Lend Lease proposed developments  
 Approved surrounding developments



## 08 Appendix B

### View Impact Analysis Report\_

View 5

#### Opera House Steps



Existing photograph  
Canon EOS 550D  
35.2 mm focal length  
1800mm camera height



3D model render - Existing



3D model render - Proposed

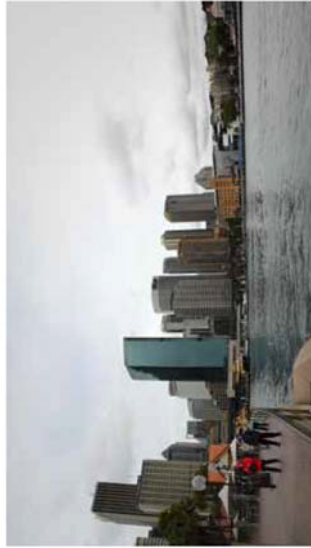
Lend Lease proposed envelope

Lend Lease proposed roof feature zone

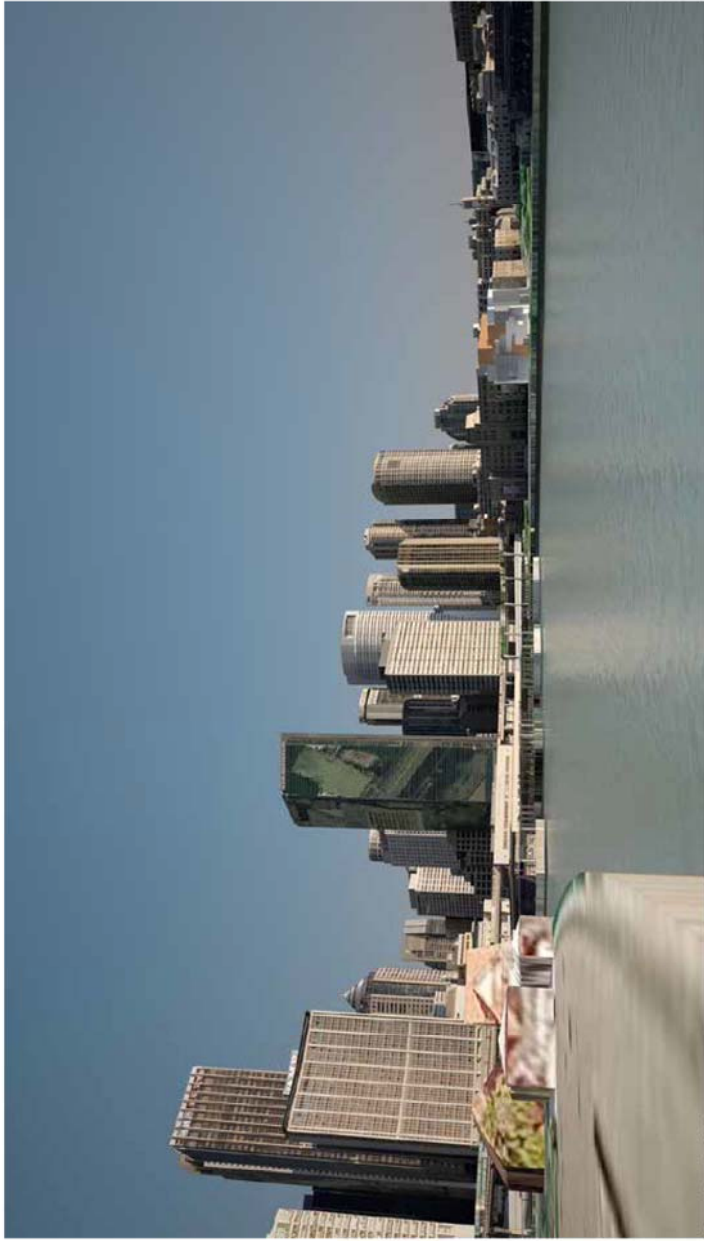
Approved surrounding developments

**08 Appendix B**  
View Impact Analysis Report\_  
View 6

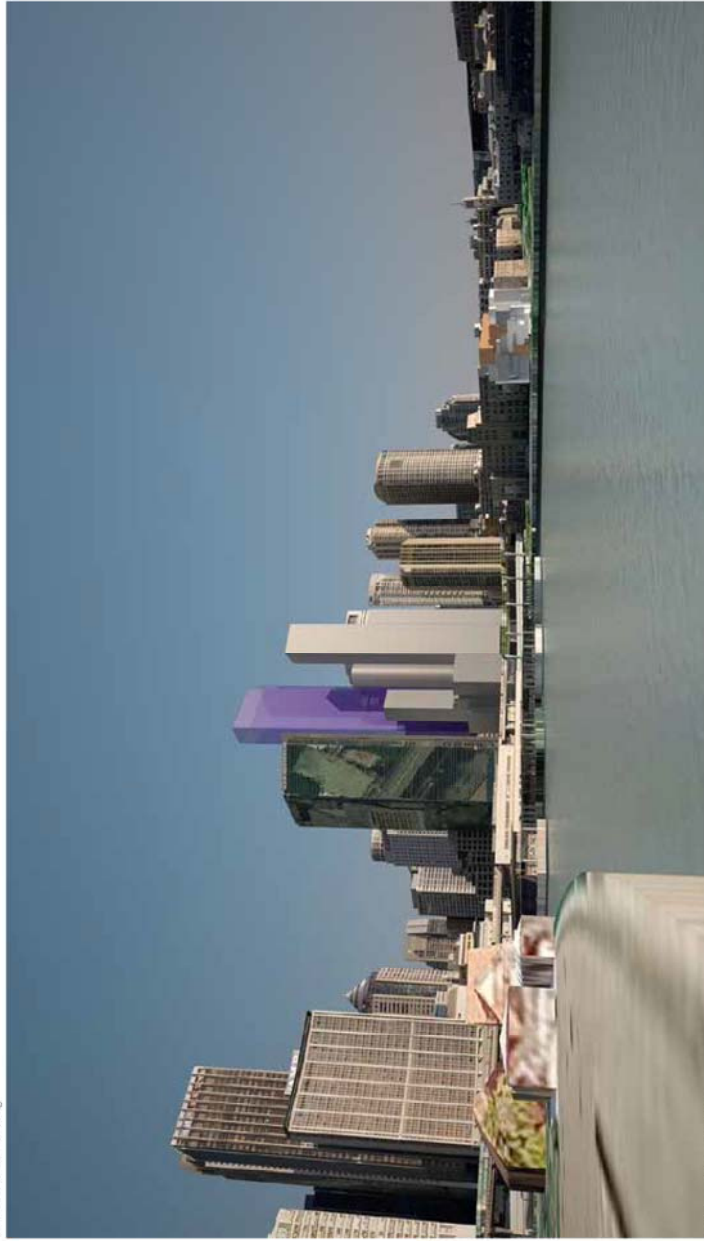
**Circular Quay by ARIA Restaurant**



Existing photograph  
Canon EOS 550D  
20.1mm focal length  
1800mm camera height



3D model render- Existing



3D model render- Proposed  
Legend  
Lease proposed envelope  
Lease proposed roof feature zone  
Approved surrounding developments

**08 Appendix B**  
View Impact Analysis Report\_  
View 7

**Mrs Macquarie's Chair**



Existing photograph  
Canon EOS 550D  
61.6 mm focal length  
1800mm camera height



**08 Appendix B**  
View Impact Analysis Report\_  
View 8

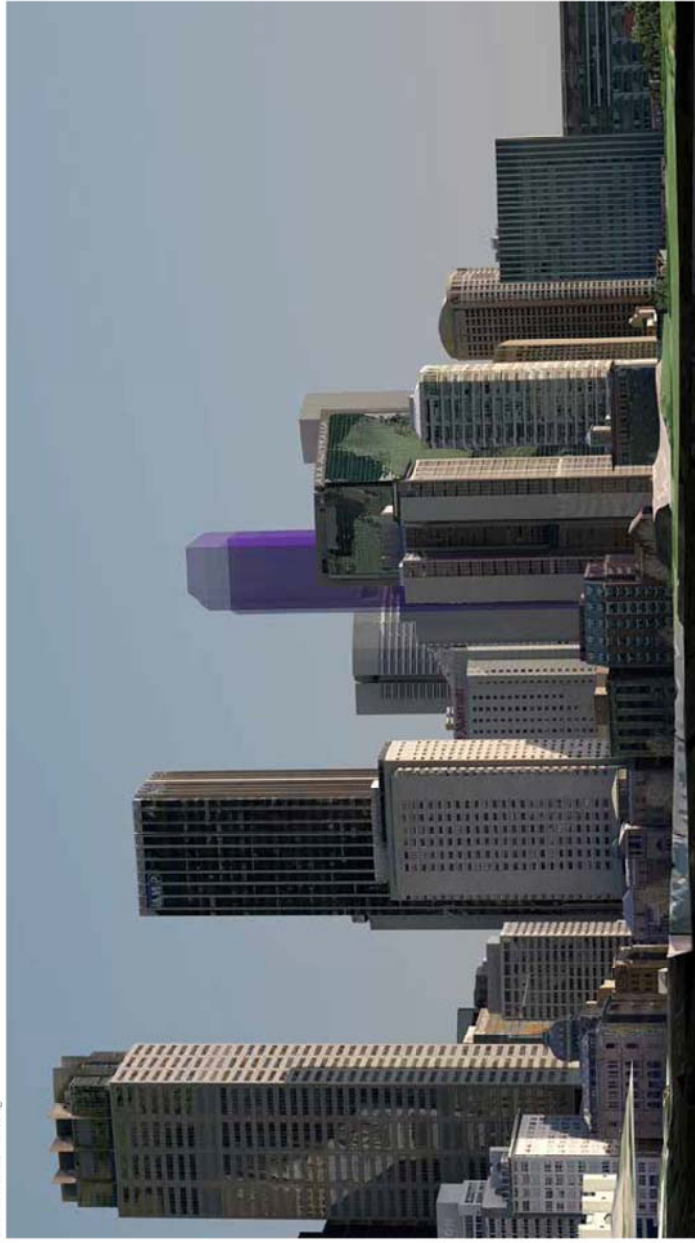
Farm Cove



Existing photograph  
Canon EOS 550D  
72.5mm focal length  
1800mm camera height



3D model render- Existing



3D model render- Proposed

Legend  
 Proposed envelope  
 Lead Lease proposed roof feature zone  
 Approved surrounding developments

**08 Appendix B**  
View Impact Analysis Report\_  
View 9

**Corner of Bridge St and Pitt St**



Existing photograph  
Canon EOS 550D  
61.6mm focal length  
1800mm camera height



3D model render- Existing

Lend Lease proposed envelope

Lend Lease proposed roof feature zone

Approved surrounding developments

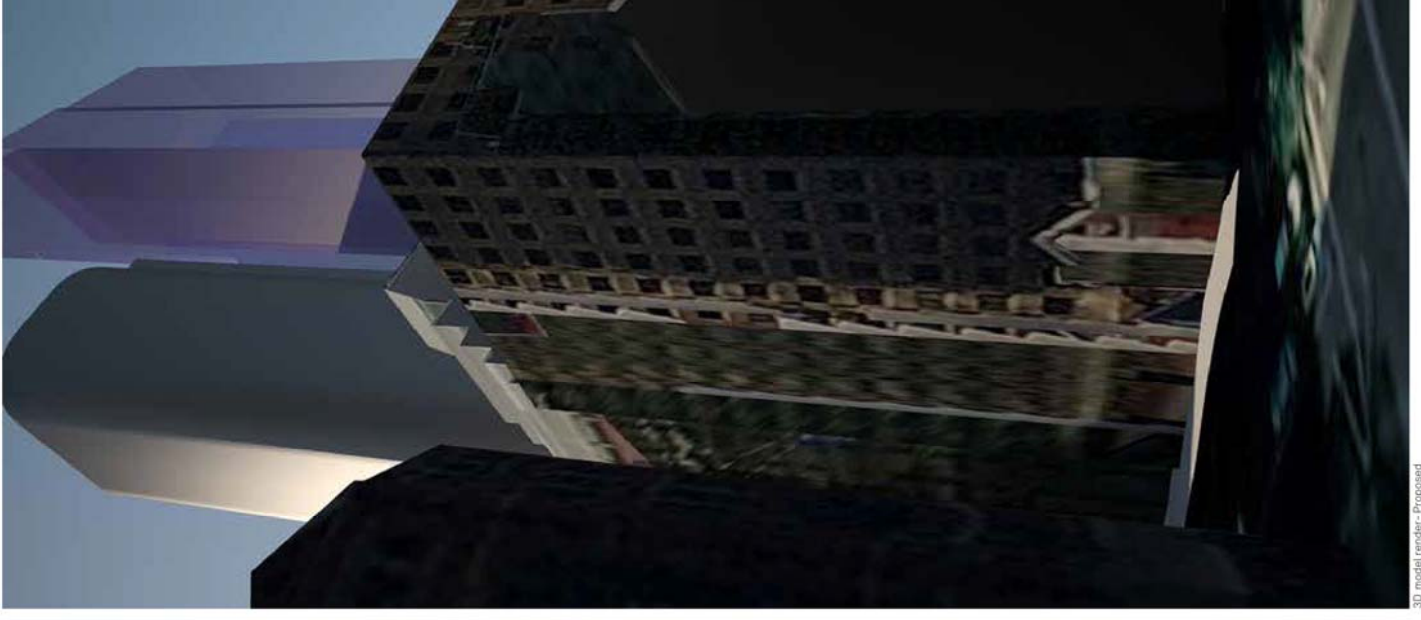
3D model render- Proposed

**08 Appendix B**  
View Impact Analysis Report\_  
View 10

**Corner of George St and Grosvenor St**



Existing photograph  
Canon EOS 550D  
38.4mm focal length  
1800mm camera height



3D model render - Proposed



3D model render - Existing

Legend  
proposed envelope

Legend  
proposed roof feature zone

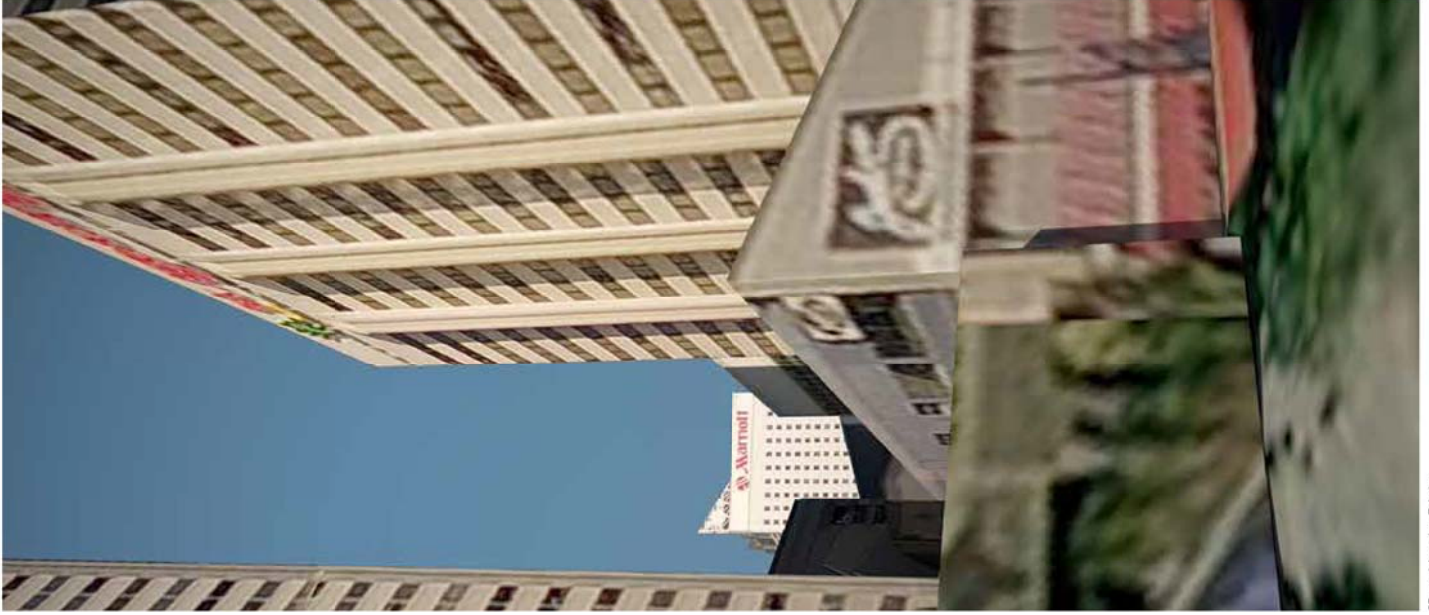
Legend  
Approved surrounding developments

**08 Appendix B**  
View Impact Analysis Report\_  
View 11

**Corner of George St and Alfred St out the front of  
Four Seasons Hotel Sydney**



Existing photograph  
Canon EOS 550D  
20.1mm focal length  
1800mm camera height



3D model render- Existing  
Lend Lease  
proposed envelope

Approved surrounding  
developments

3D model render- Proposed

**08 Appendix B**  
View Impact Analysis Report\_  
View 12

**Corner of Pitt St and Alfred St**



Existing photograph  
Canon EOS 550D  
28mm focal length  
1800mm camera height



3D model render - Proposed



3D model render - Existing  
Land Lease  
proposed envelope  
Approved surrounding  
developments



**08 Appendix B**  
View Impact Analysis Report\_  
View 13

View from Circular Quay ferry



24 mm focal length  
PL 3.7m camera height



3D model render- Existing



3D model render- Proposed  
Lend Lease proposed envelope  
Lend Lease proposed roof feature zone  
Approved surrounding developments

**08 Appendix B**  
View Impact Analysis Report\_  
View 14

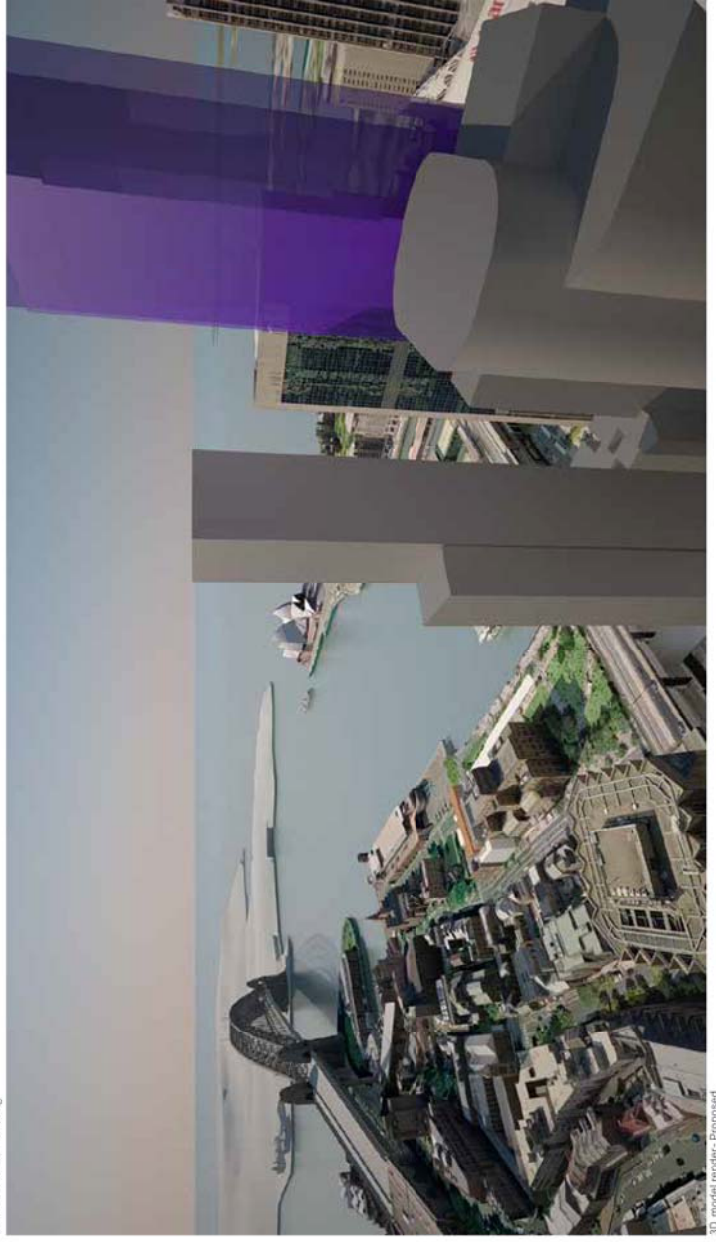
**View from 225 George St (Grosvenor Place)**



24 mm focal length  
FL 190m camera height (roof level)



3D model render- Existing



3D model render- Proposed

Legend  
 Lend Lease proposed envelope  
 Approved surrounding developments

**08 Appendix B**  
View Impact Analysis Report\_  
View 15a

View from 255 George St (NAB House)



24 mm focal length  
RL 138.6m camera height (roof level)

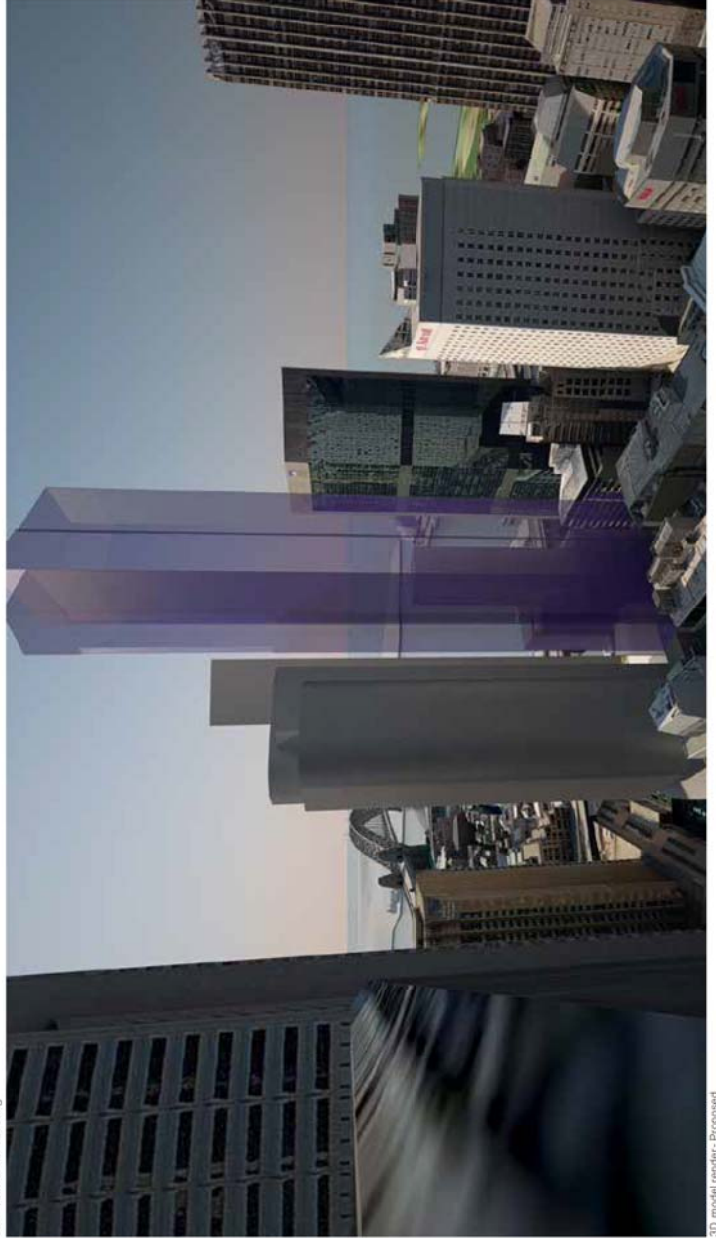


APDG south east tower  
according to Sydney  
DCP 2012

It is useful to compare the proposed tower envelope against the APDG south east proposed tower envelope. The APDG tower blocks key views of the Sydney Opera House from 255 George Street.



3D model render- Existing



3D model render- Proposed

- Lend Lease proposed envelope
- Lend Lease proposed roof feature zone
- Approved surrounding developments

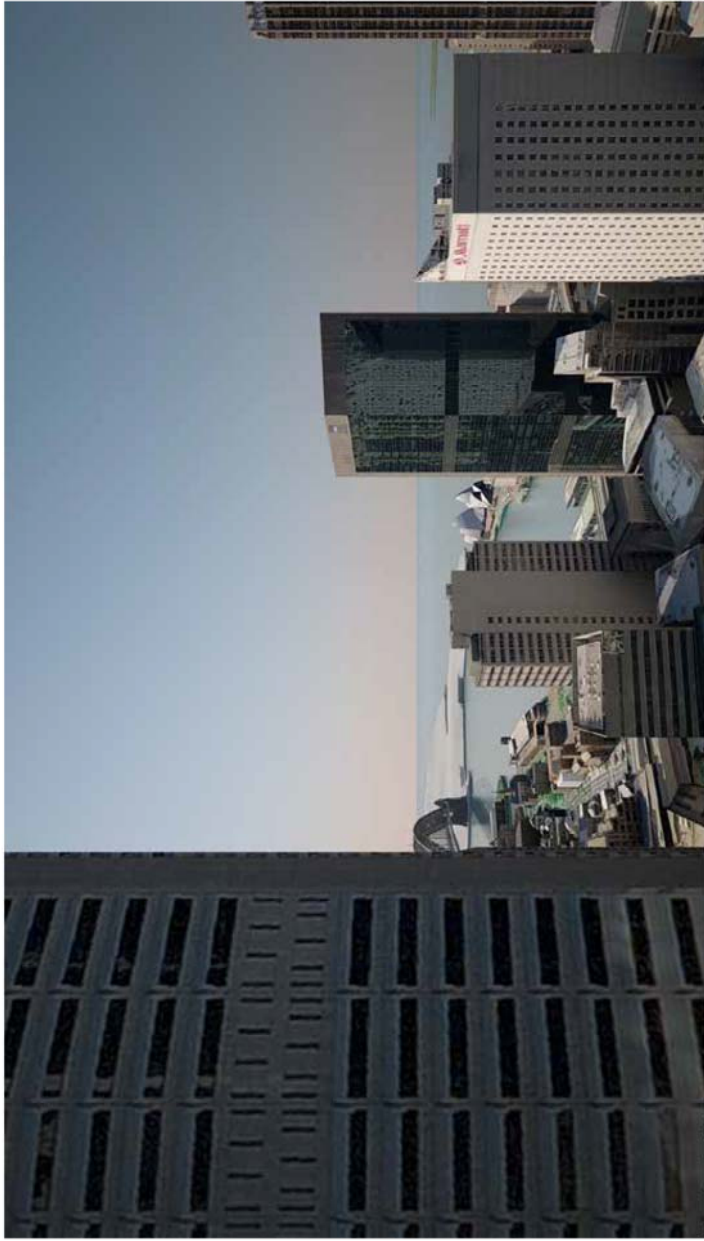
**08 Appendix B**  
View Impact Analysis Report\_  
View 15b

View from 255 George St (NAB House)

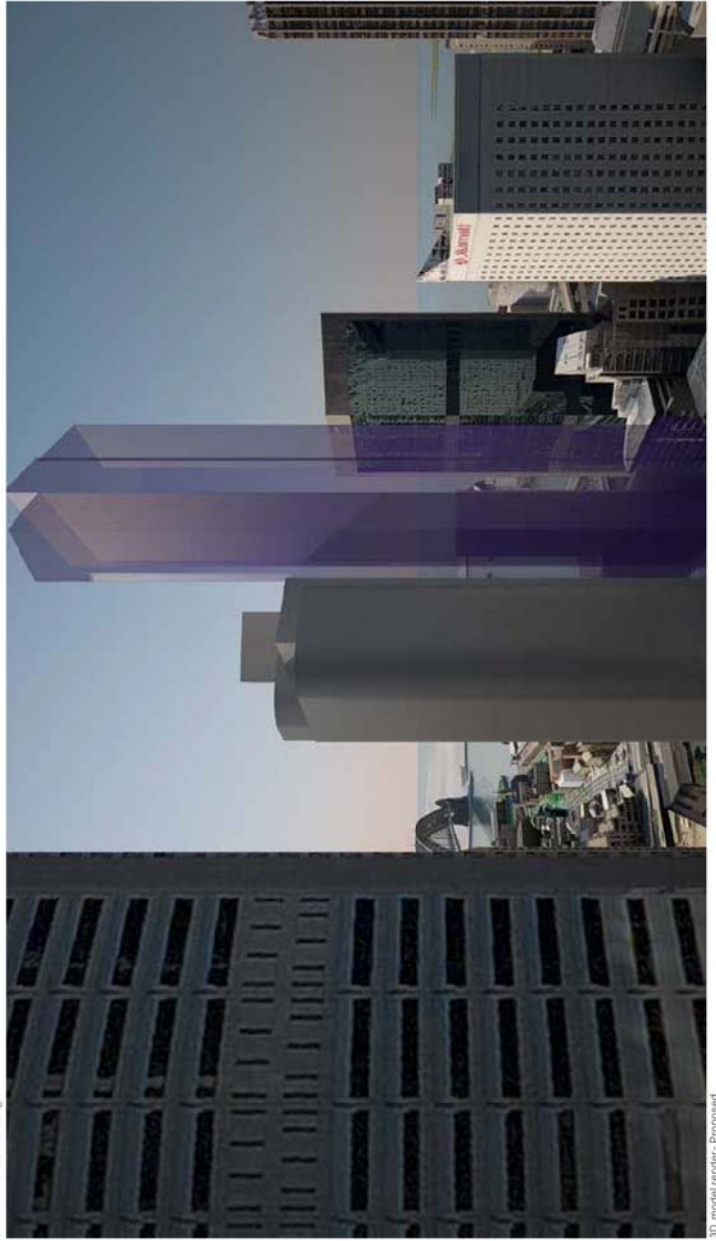


24 mm focal length  
FL 126.6m camera height

To more accurately represent the view for the majority of 255 George Street, view 15b lowers the camera to RL+ 126.6m. Under RL+ 126.6m the proposed 19 Pitt Street (Fairfax) development will impact the view from 255 George Street to the Sydney Opera House.



3D model render- Existing



3D model render- Proposed

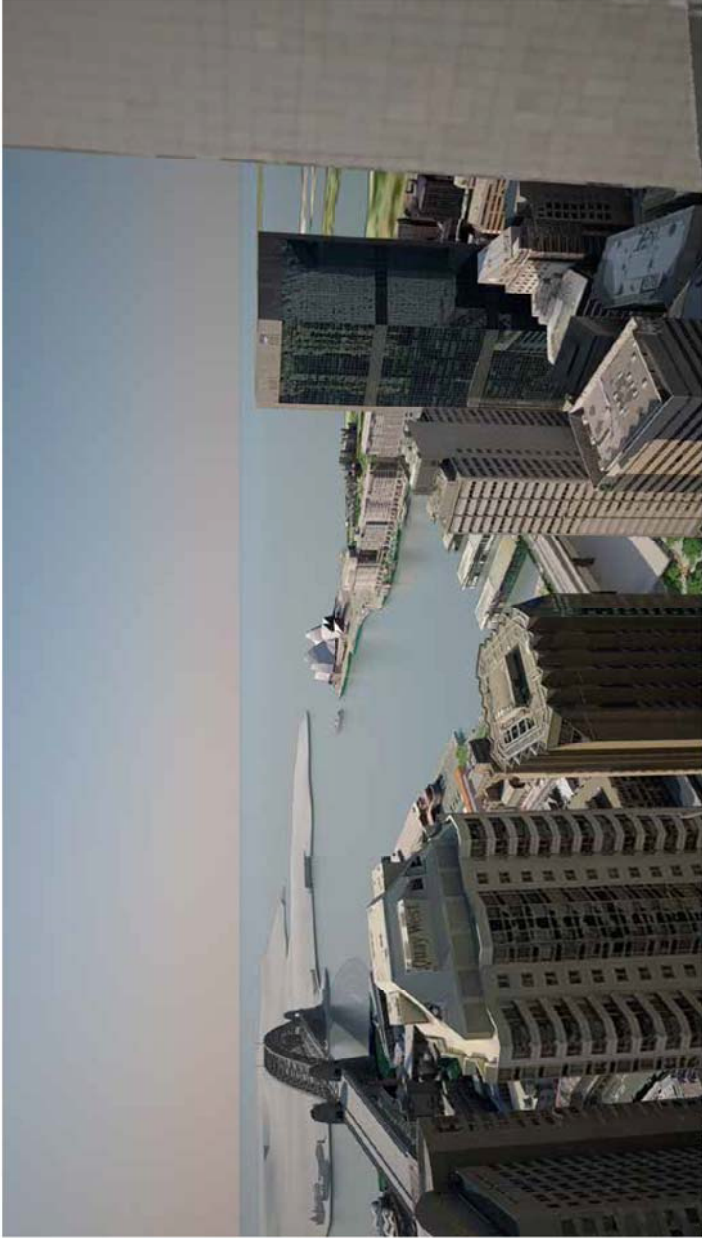
- Legend
- Proposed envelope
- Lend Lease proposed roof feature zone
- Approved surrounding developments

**08 Appendix B**  
View Impact Analysis Report\_  
View 16

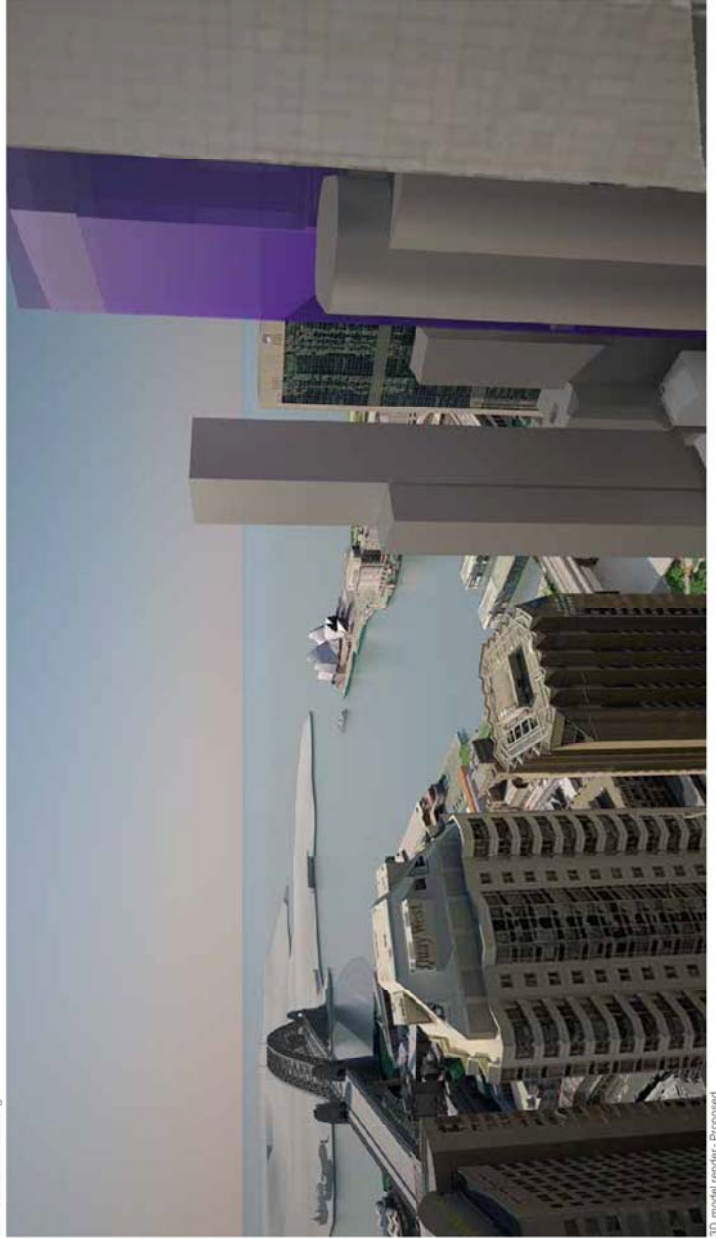
View from 129 - 131 Harrington St



24 mm focal length  
RL 175m camera height (roof level)



3D model render- Existing



3D model render- Proposed

- Lend Lease proposed envelope
- Lend Lease proposed roof feature zone
- Approved surrounding developments

**08 Appendix B**  
View Impact Analysis Report\_  
View 17

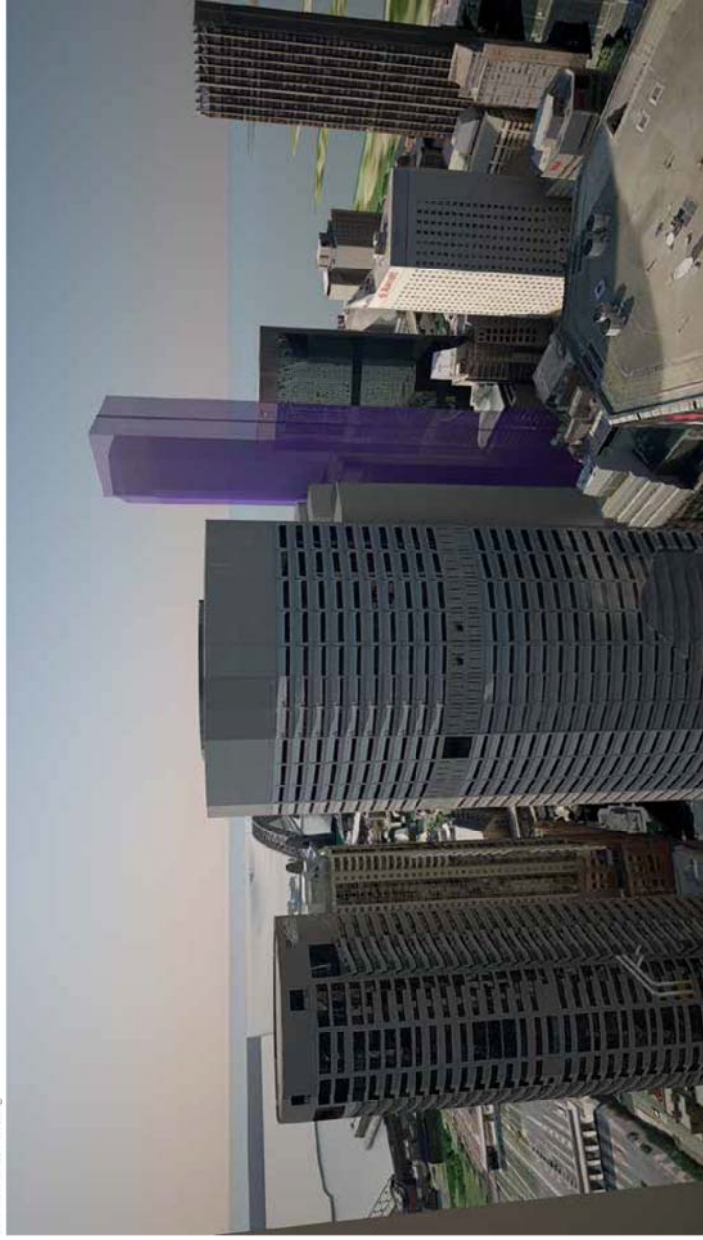
View from 259 George St (Suncorp Place)



24 mm focal length  
FL 194.7m camera height (roof level)



3D model render- Existing



3D model render- Proposed

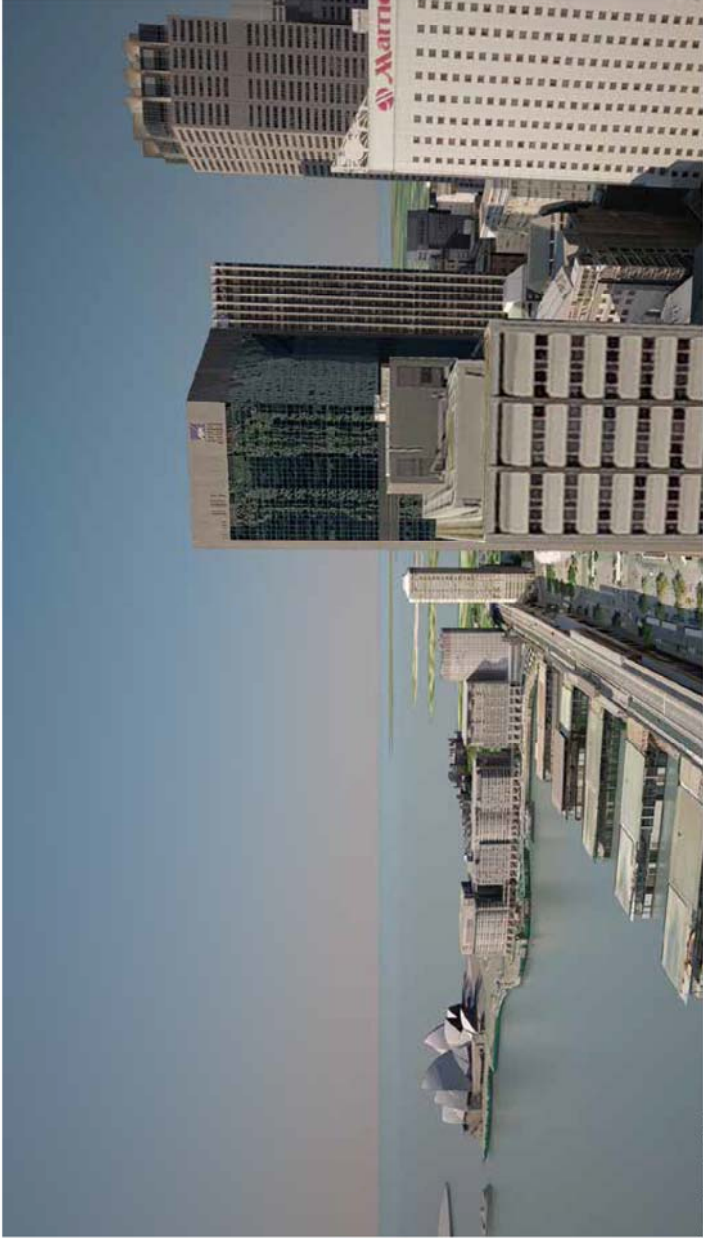
Legend:  
 Lend Lease proposed envelope  
 Lend Lease proposed roof feature zone  
 Approved surrounding developments

**08 Appendix B**  
View Impact Analysis Report\_  
View 18

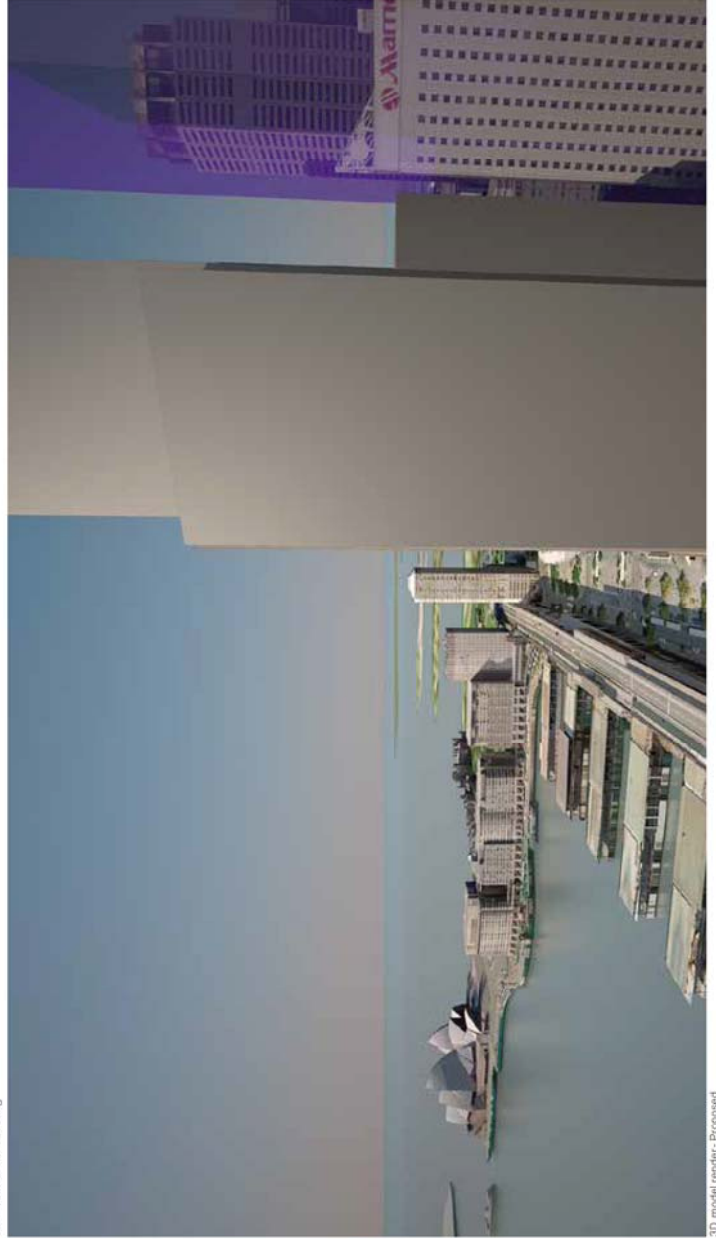
**View from 199 George St (Four Seasons Hotel)**



24 mm focal length  
RL 114.5m camera height (roof level)



3D model render- Existing



3D model render- Proposed

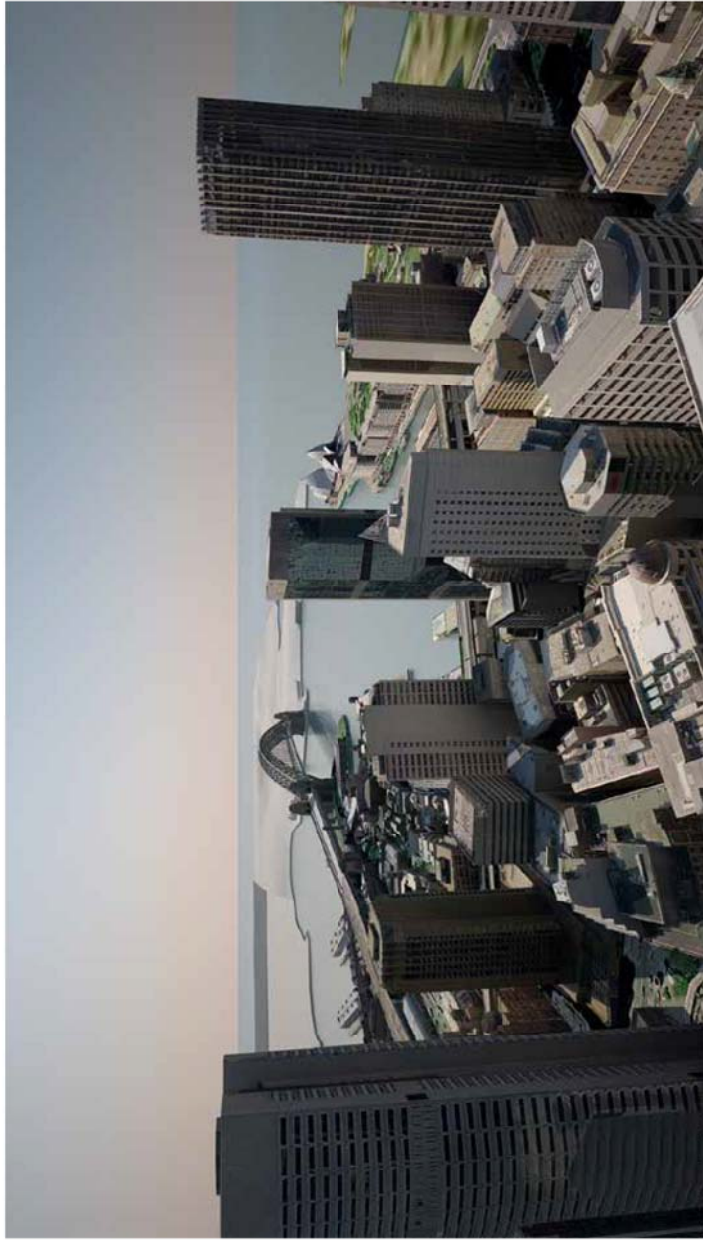
Lend Lease proposed envelope  
Approved surrounding developments

**08 Appendix B**  
View Impact Analysis Report\_  
View 19

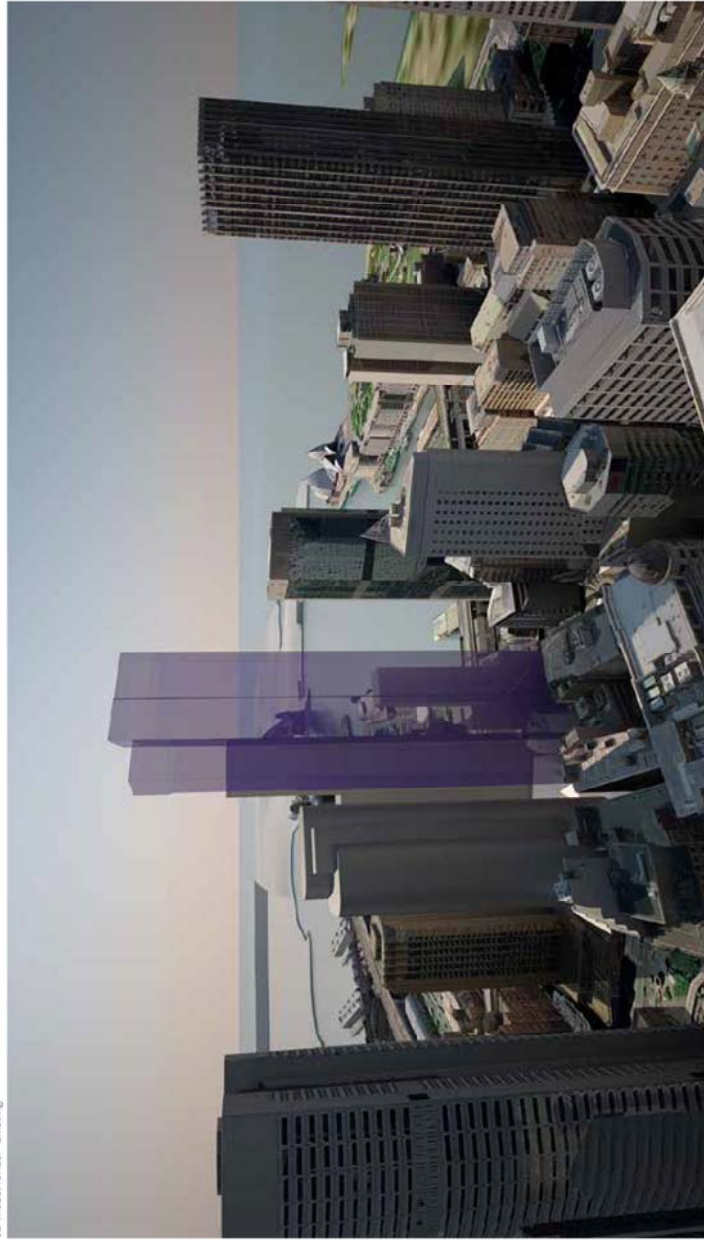
**View from 264 George St (Australia Square)**



24 mm focal length  
FL 184m camera height (roof level)



3D model render- Existing



3D model render- Proposed

- Legend
- Proposed envelope
- Lease Lease proposed roof feature zone
- Lease Lease proposed roof feature zone
- Approved surrounding developments

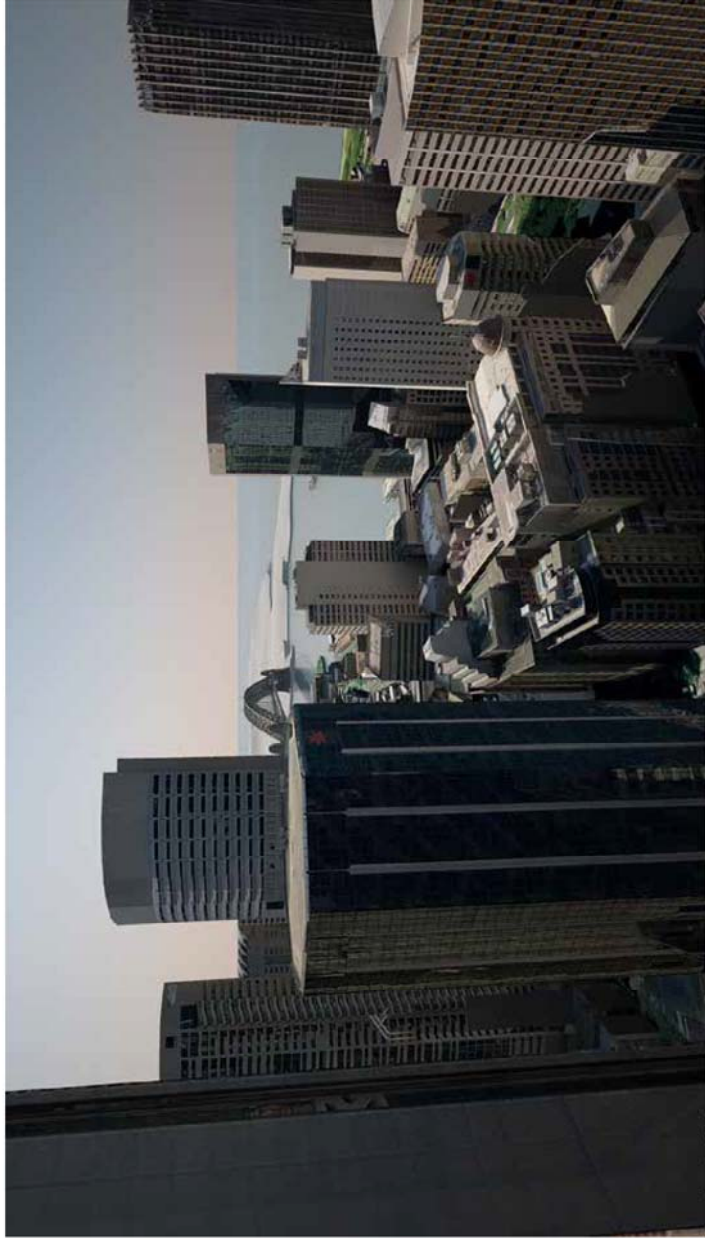


**08 Appendix B**  
View Impact Analysis Report\_  
View 20

**View from 273 George St (Metcentre Sydney)**



24 mm focal length  
RL, 132m camera height (roof level)



- 3D model render- Proposed
- Lend Lease proposed envelope
- Lend Lease proposed roof feature zone
- Approved surrounding developments

**08 Appendix B**  
View Impact Analysis Report\_  
View 21

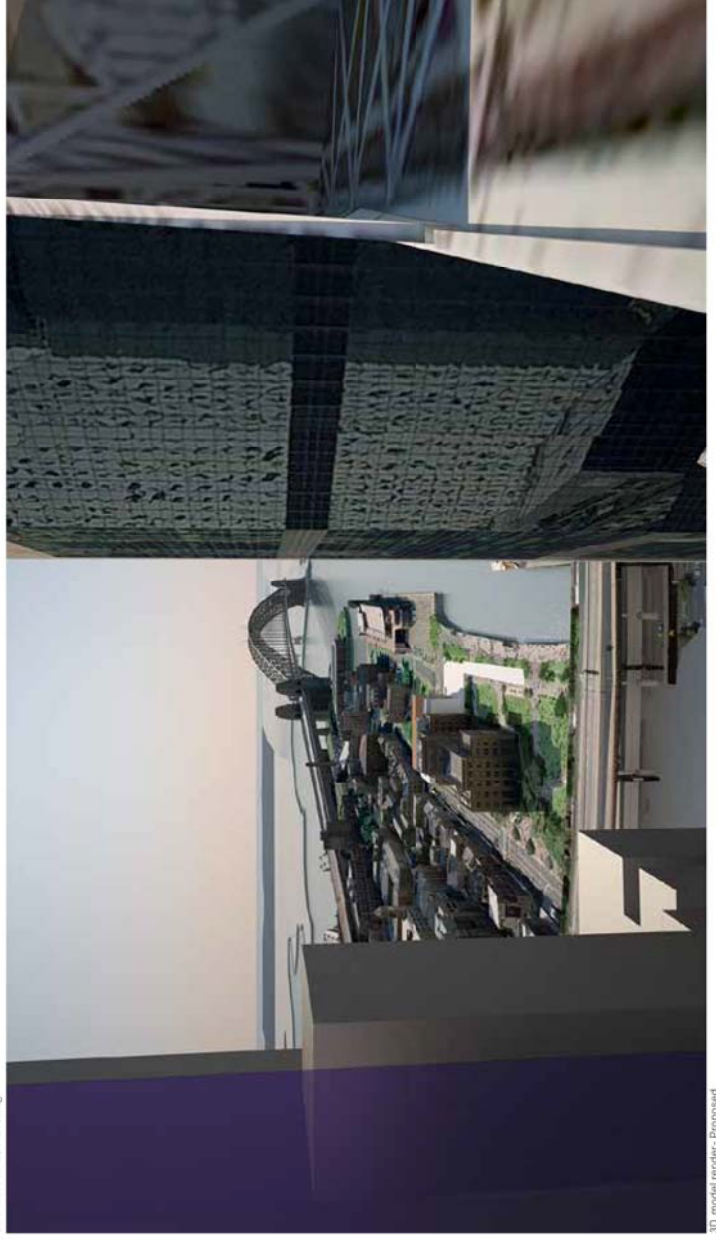
View from 30 Pitt St (Marriott Hotel)



24 mm focal length  
FL 116.8m camera height (roof level)



3D model render- Existing



3D model render- Proposed

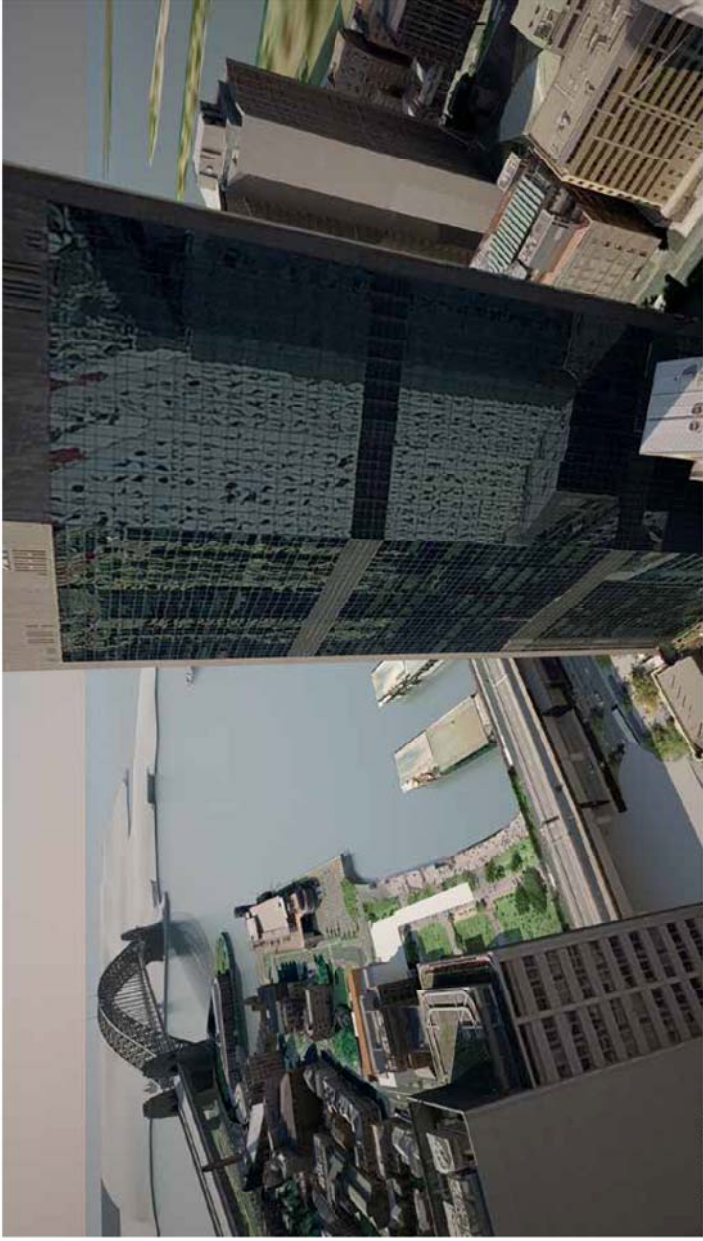
Lease  
Proposed envelope  
Approved surrounding developments

**08 Appendix B**  
View Impact Analysis Report\_  
View 22

View from APDG South-East tower



24 mm focal length  
RL 202.4m camera height (roof level)



3D model render- Existing



3D model render- Proposed

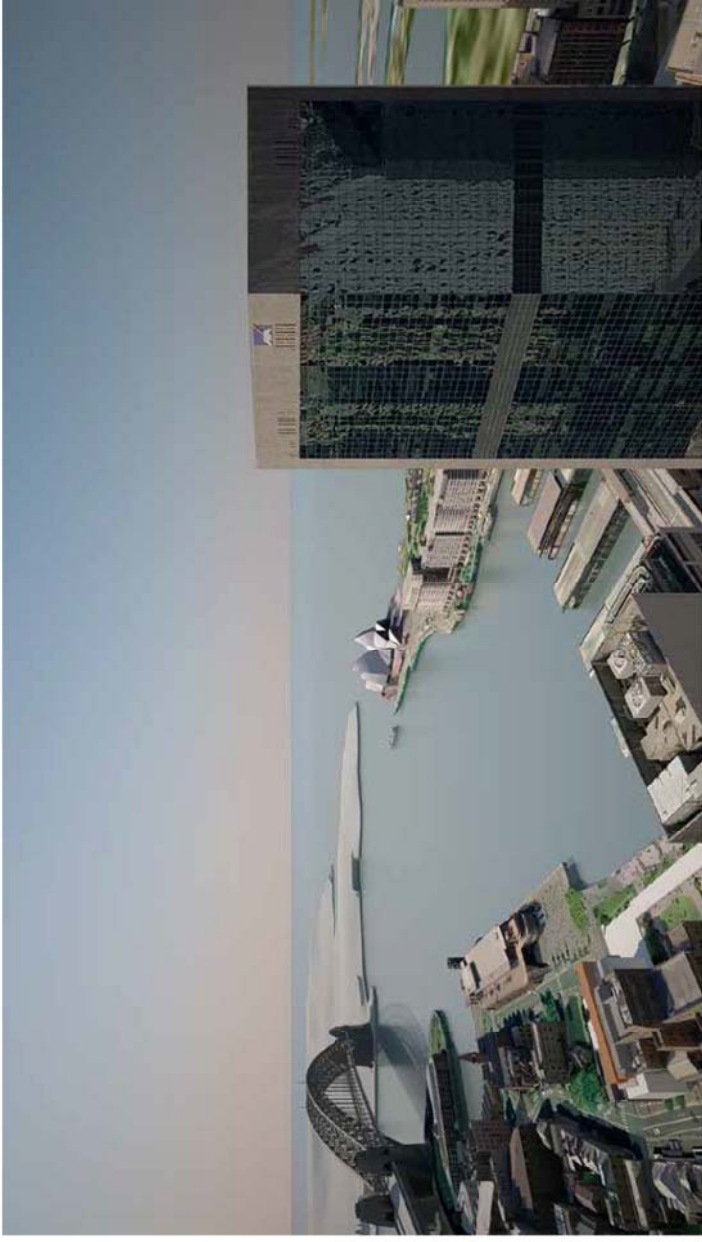
Lend Lease proposed envelope  
Approved surrounding developments

**08 Appendix B**  
View Impact Analysis Report\_  
View 23

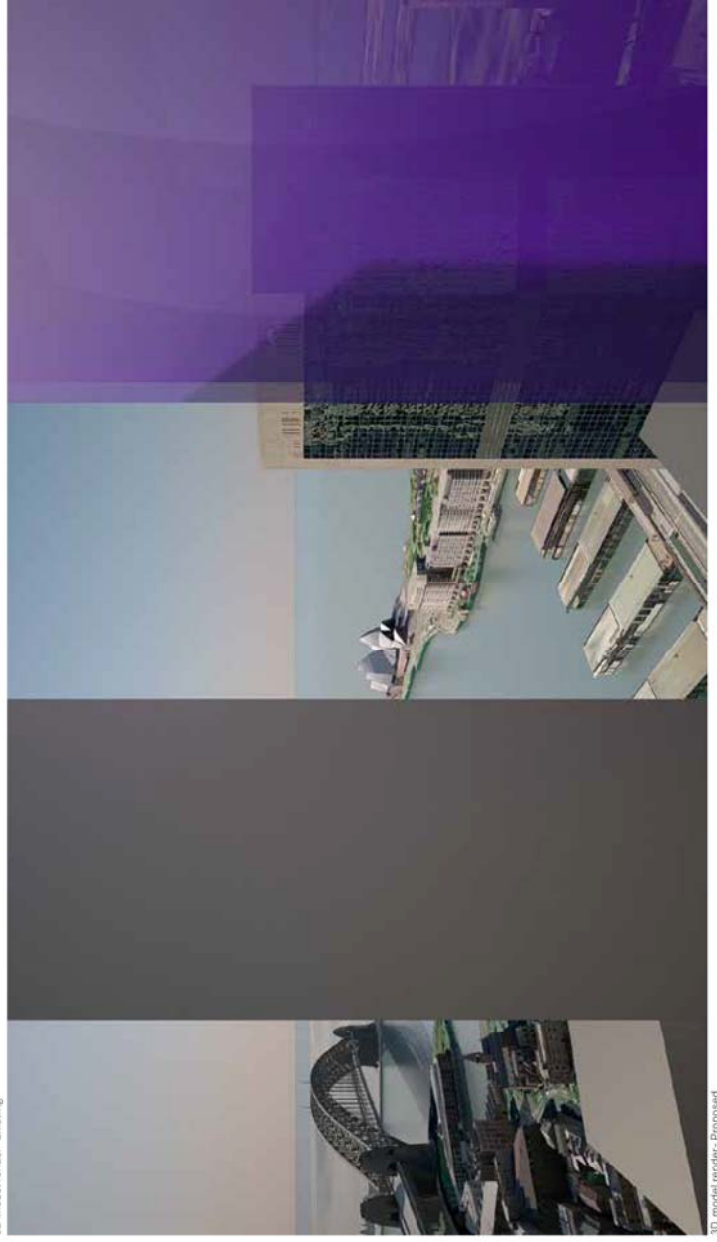
View from 200 George St



24 mm focal length  
FL 158.4m camera height (roof level)



3D model render- Existing



3D model render- Proposed

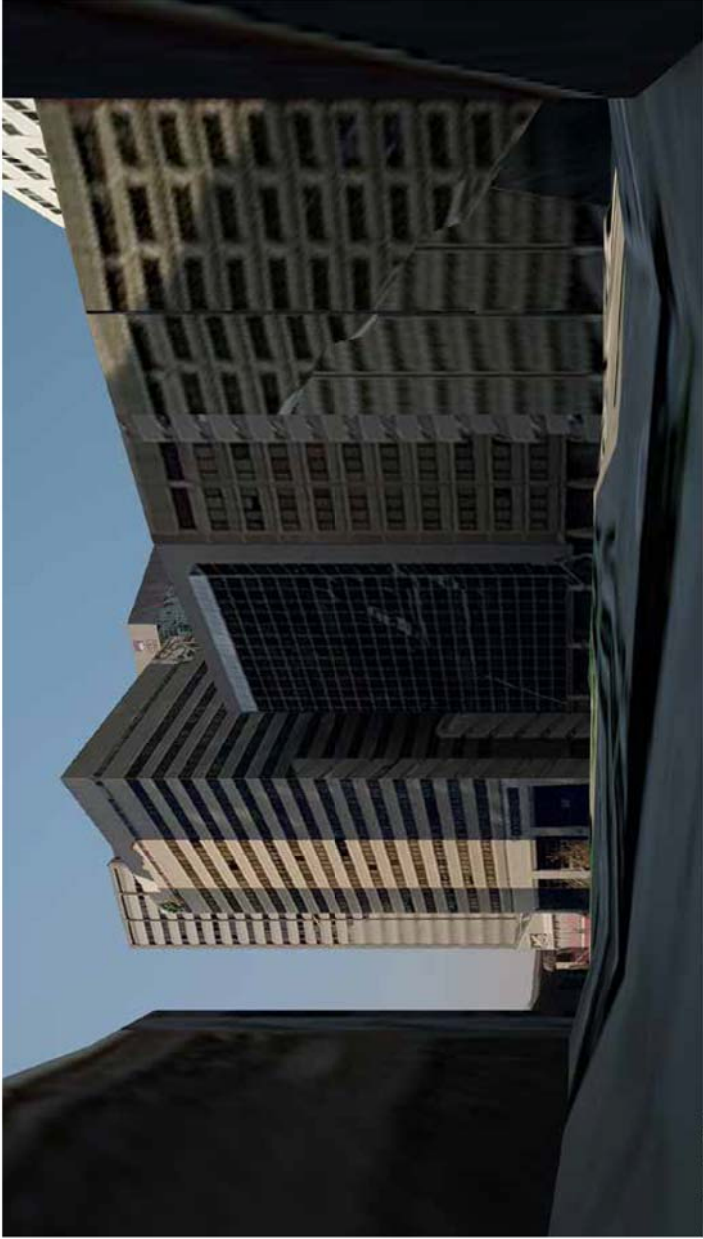
Legend  
proposed envelope  
Approved surrounding developments

**08 Appendix B**  
View Impact Analysis Report\_  
View 24

**View from Grosvenor Tower - Street Level - To Plaza**



35 mm focal length  
RL: 10.4m camera height



3D model render- Existing



3D model render- Proposed

Approved surrounding developments

Land Lease proposed envelope

**08 Appendix B**  
View Impact Analysis Report\_  
View 25

View from Grosvenor Place to Plaza



35 mm focal length  
F4, 60m camera height



3D model render- Existing



3D model render- Proposed

Approved surrounding developments

<b>Australia</b>	<b>China</b>	<b>South East Asia</b>
<b>Adelaide</b>	<b>Beijing</b>	<b>Bangkok</b>
HASSELL	HASSELL	HASSELL
Level 5	Building A7	18F, K Tower
70 Hindmarsh Square	50 Anijiatou	209 Sukhumvit Soi 21
Adelaide SA	Chaoyang District	Klongtoey-Nua Wattana
Australia 5000	Beijing 100125 China	Bangkok 10110 Thailand
T +61 8 8220 5000	T +8610 5126 6908	T +66 2207 8999
E <a href="mailto:adelaide@hassellstudio.com">adelaide@hassellstudio.com</a>	E <a href="mailto:beijing@hassellstudio.com">beijing@hassellstudio.com</a>	E <a href="mailto:bangkok@hassellstudio.com">bangkok@hassellstudio.com</a>
<b>Brisbane</b>	<b>Chongqing</b>	<b>Singapore</b>
HASSELL	HASSELL	HASSELL
36 Warry Street	28F, International Trade Centre	17A Stanley Street
Fortitude Valley QLD	38 Qing Nian Road	068736 Singapore
Australia 4006	Yu Zhong District	T +65 6224 4688
T +61 7 3914 4000	Chongqing 400010 China	E <a href="mailto:singapore@hassellstudio.com">singapore@hassellstudio.com</a>
E <a href="mailto:brisbane@hassellstudio.com">brisbane@hassellstudio.com</a>	T +8623 6310 6888	
<b>Melbourne</b>	E <a href="mailto:chongqing@hassellstudio.com">chongqing@hassellstudio.com</a>	<b>United Kingdom</b>
HASSELL		<b>Cardiff</b>
61 Little Collins Street	<b>Hong Kong SAR</b>	HASSELL
Melbourne VIC	HASSELL	4th Floor, James William House
Australia 3000	22F, 169 Electric Road	9 Museum Place
T +61 3 8102 3000	North Point Hong Kong SAR	Cardiff CF10 3BD United Kingdom
E <a href="mailto:melbourne@hassellstudio.com">melbourne@hassellstudio.com</a>	T +852 2552 9098	T +44 29 2072 9071
	E <a href="mailto:hongkong@hassellstudio.com">hongkong@hassellstudio.com</a>	E <a href="mailto:cardiff@hassellstudio.com">cardiff@hassellstudio.com</a>
<b>Perth</b>	<b>Shanghai</b>	<b>London</b>
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Podium Level, Central Park	Building 8 Xing Fu Ma Tou	Level 2, Morelands
152 - 158 St Georges Terrace	1029 South Zhongshan Road	17 - 21 Old Street
Perth WA	Huangpu District	Clerkenwell
Australia 6000	Shanghai 200011 China	London ECTV 9HL United Kingdom
T +61 8 6477 6000	T +8621 6887 8777	T +44 20 7490 7669
E <a href="mailto:perth@hassellstudio.com">perth@hassellstudio.com</a>	E <a href="mailto:shanghai@hassellstudio.com">shanghai@hassellstudio.com</a>	E <a href="mailto:london@hassellstudio.com">london@hassellstudio.com</a>
<b>Sydney</b>	<b>Shenzhen</b>	
HASSELL	HASSELL	
Level 2	1212 Landmark	
Pier 8/9, 23 Hickson Road	4028 Jintian Road	
Sydney NSW	Futian District	
Australia 2000	Shenzhen 518035 China	
T +61 2 9101 2000	T +86755 2381 1838	
E <a href="mailto:sydney@hassellstudio.com">sydney@hassellstudio.com</a>	E <a href="mailto:shenzhen@hassellstudio.com">shenzhen@hassellstudio.com</a>	